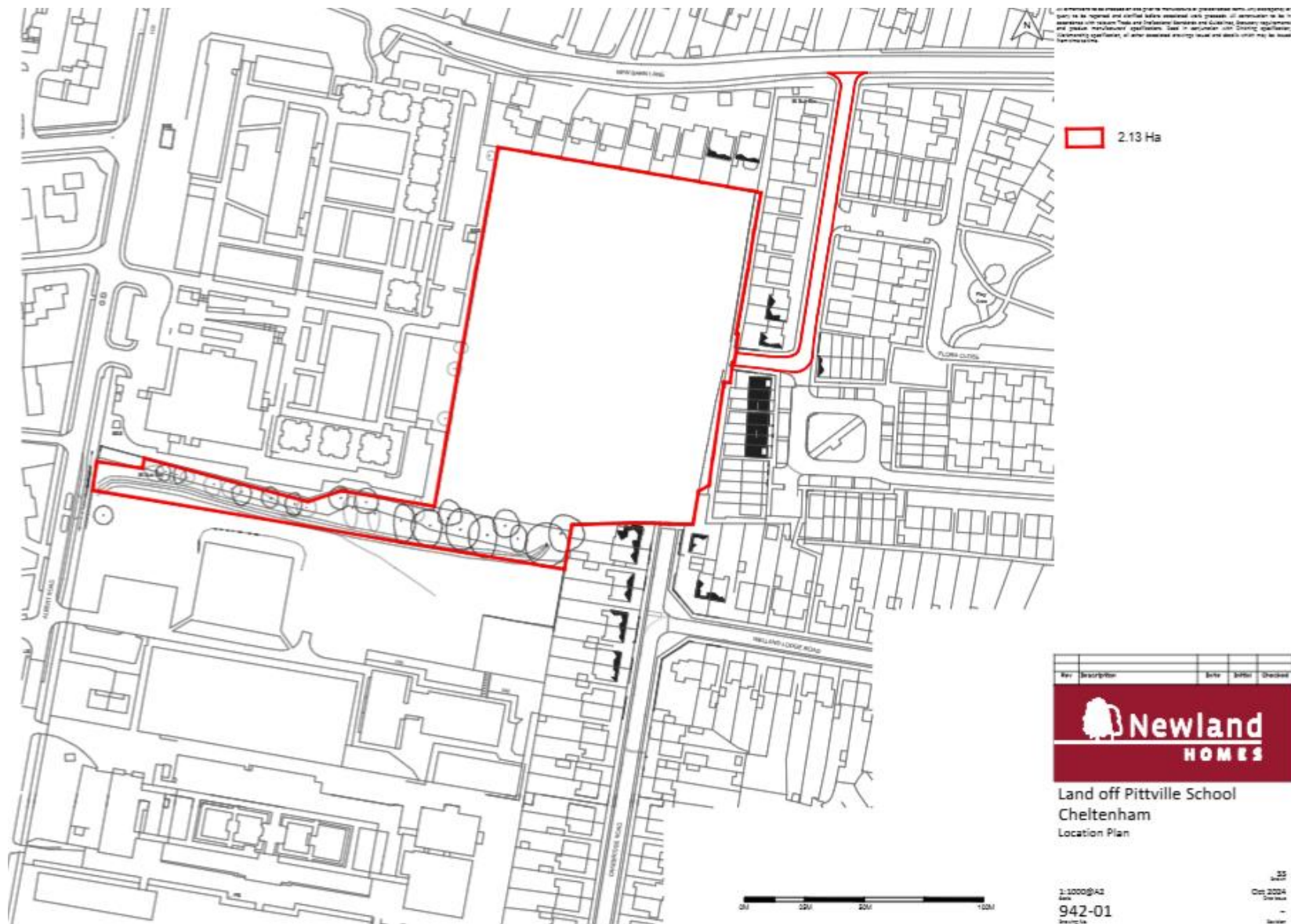


25/00780/FUL – PITTVILLE SCHOOL

Proposed Development

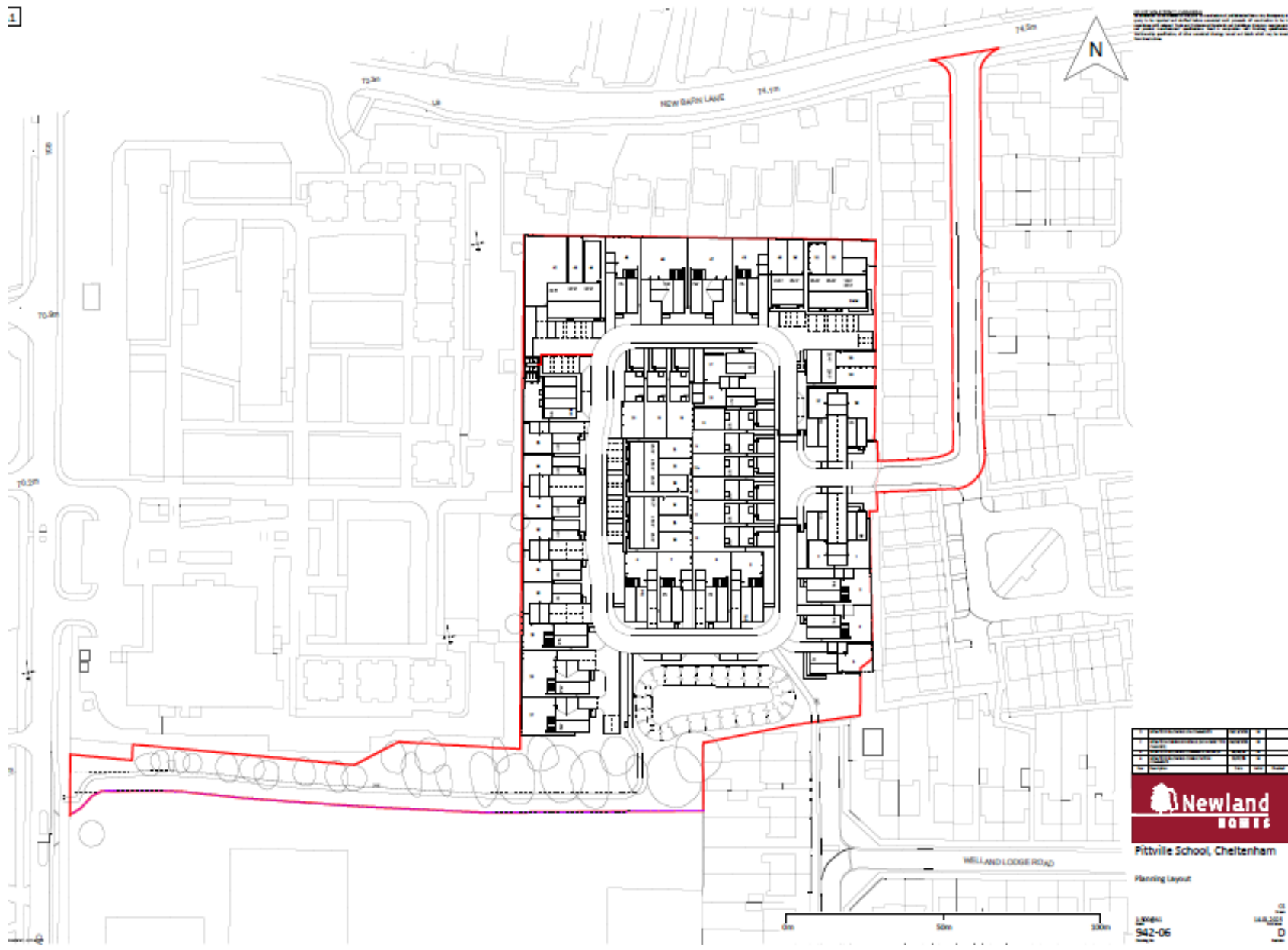
Full application for the erection of 58 residential dwellings including access, parking, landscaping and associated works.

Committee determination – Prestbury Parish Council objection





Site Location/Arial View



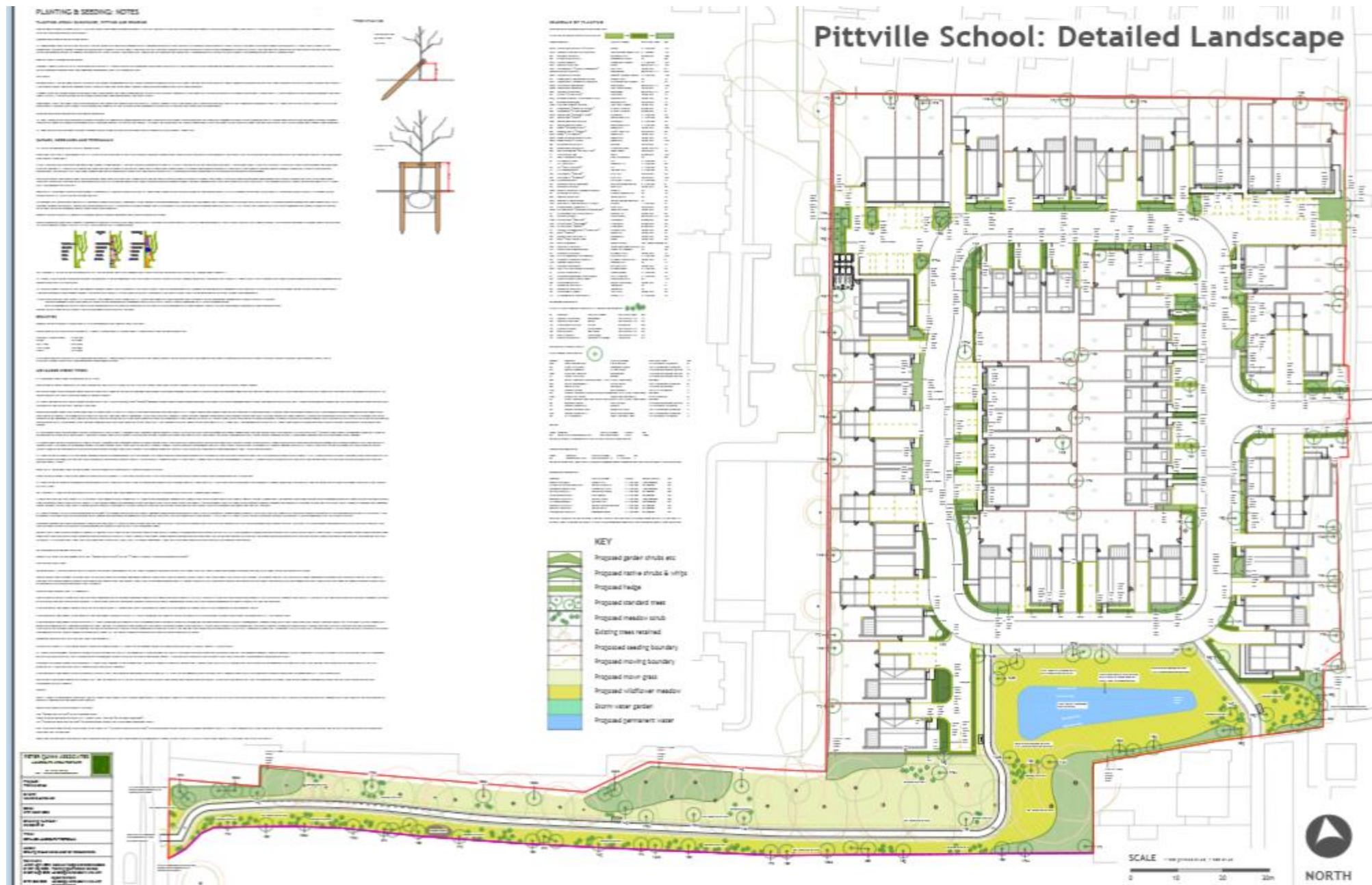
SITE LAYOUT



Building Heights



Affordable Housing Layout



Soft Landscaping Scheme





These drawings are for illustrative purposes only and are not to be used for construction purposes without the written consent of the architect.



Street Scene Elevations



Pittville School, Cheltenham

PW Floor Plans and Elevations

0m 5m 10m

1:100@A2
942-30

SS
Feb 2025
A

Detached House Type



First Floor



Ground Floor



Front Elevation

Side Elevation



Rear Elevation

Side Elevation



Pittville School, Cheltenham

HO Floor Plans and Elevations

0m 5m 10m

1:100@A2
942-34SS
Feb 2025
A

Detached House Type



First Floor



Ground Floor

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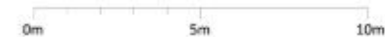
Front Elevation

Side Elevation



Rear Elevation

Side Elevation



1	Detached House (PB) comments	20/08/2025	SS	
2	Detached House (PB) comments	20/08/2025	SS	
3	Detached House (PB) comments	20/08/2025	SS	



Pittville School, Cheltenham

PB Floor Plans and Elevations

1:100 @ A2
942-31
Drawing No.

SS
Cheltenham
Feb 2025
Page 13
B

Detached House Type



Second Floor



First Floor



Ground Floor



Front Elevation

Side Elevation



Rear Elevation



Side Elevation



Pittville School, Cheltenham

DR Floor Plans and Elevations

0m 5m 10m

1:100@A2
942-3255
Feb 2025
A

Detached 2.5 Storey Town House Type

A2



Second Floor



First Floor



Ground Floor



Front Elevation

Side Elevation



Rear Elevation



Side Elevation

0m 5m 10m



Pittville School, Cheltenham

HX Floor Plans and Elevations

1:100@A2
942-33A
Drawing No.

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Detached Three Storey Town House Type - red brick



Front Elevation

Side Elevation



Rear Elevation



Pittville School, Cheltenham

3B5P 93 Floor Plans and Elevations

0m 5m 10m

1:100@A2
942-36
Drawing No.

55
01/01/2025
Feb 2025
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Revised



First Floor

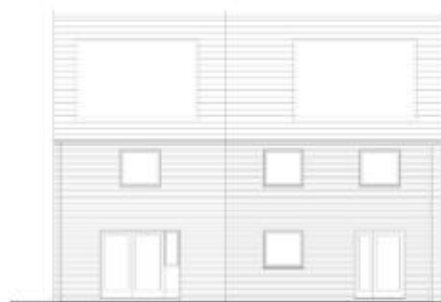


Front Elevation

Side Elevation



Ground Floor



Rear Elevation



Pittville School, Cheltenham

4B7P 115 & 3B5P 94 Floor Plans and Elevations

0m 5m 10m

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88
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First Floor

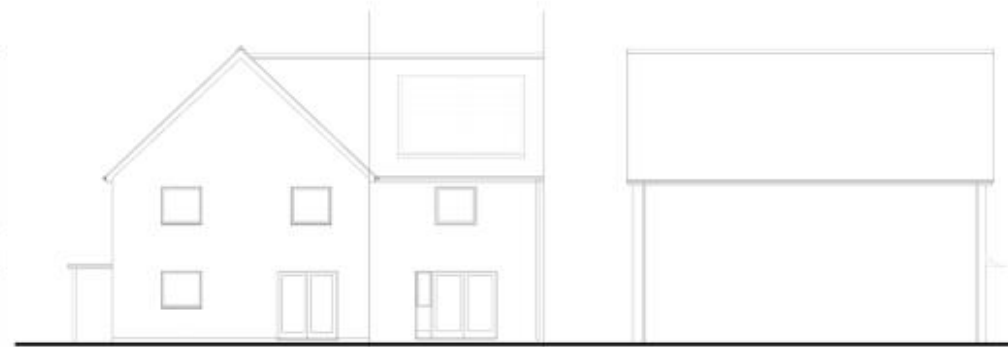


Front Elevation

Side Elevation



Ground Floor



Rear Elevation

Side Elevation



Pittville School, Cheltenham

1B2P M4(3A) 70 & 3B5P 94 Floor Plans and Elevations

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 Drawing No.

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 Date
 Feb 2024
 C
 Revision

A2



Second Floor



First Floor



Ground Floor

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Front Elevation

Rear Elevation



Side Elevation



Side Elevation



Pittville School, Cheltenham

A6 1B2P Floor Plans and Elevations

0m 5m 10m

1:100 @ A2
942-39
Drawing No.

88
Drawn
Feb 2025
Test Date
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Four One Bed Apartments

Key Planning Matters

- **Principle of Development/Planning History**

- Policy SD10 of JCS

- NPPF Paragraph 11(d)

- **Design and Scale and Layout**

- Principles of good urban design

- Architectural design and materials palette of house/apartment types

- Impact on amenities of neighbouring land users

- **Affordable Housing**

- Category type/size, tenure mix, distribution and design

- **Access/Traffic/Highway safety**

- **Landscaping – hard and soft**

- Boundary treatment, planting schedule, street tree planting, POS and management and maintenance

- **Conservation and Heritage**

- **Ecology**

- Ecological survey considerations - loss of habitat, fauna, flora and biodiversity net gain

- **Drainage and Flood risk**

Recommendation – Permit subject to s106 and Conditions

1. Facing and roofing materials – inc. window details and large sample panels constructed on site
2. Landscape and Tree Management and Maintenance scheme (short-term to 30 year long-term)
3. Biodiversity Gain Plan and Habitat Management and Maintenance Plan
4. Implementation of the footpath links
5. Implementation of ecological enhancements and ecological protection during construction phase
6. External lighting strategy
7. Solar PV panels and Air Source Heat Pump installation – no gas served development
8. Obscure glazing (selected plots) and permitted development rights removed for additional windows
9. Detailed Drainage Strategies inc. maintenance

Section 106 Heads of Terms

1. 40% Affordable Housing on-site provision - 23 dwellings (70% social rent and 30% shared ownership)
2. Financial contributions towards Education (school places) and improvements in resources and facilities at Prestbury Library
3. Financial contributions towards improvements in playspace/recreation facilities at Pittville Park and local allotment provision
4. Monitoring of Biodiversity Gain/Habitat long-term management
5. Management of proposed on-site Public Open Space and footpaths
6. Mitigation for recreational pressure on the Beechwoods Special Area of Conservation (SAC)
7. Residential Travel Plan monitoring

25/01296/FUL – Prinbox Works

Proposed works:

Redevelopment of the site to provide 6 no. dwellings following the demolition of the existing building.

The application is at planning committee at the request of Councillor Chelin due to the level of local interest and concerns regarding parking and design.

Site Location Plan



Google Earth Image



Site Photos



Views of the site from Lypiatt Street



Site Photos



Views of the site from Tivoli Walk



Saddlers Lane

Site Photos



Views of the site from Saddlers Lane

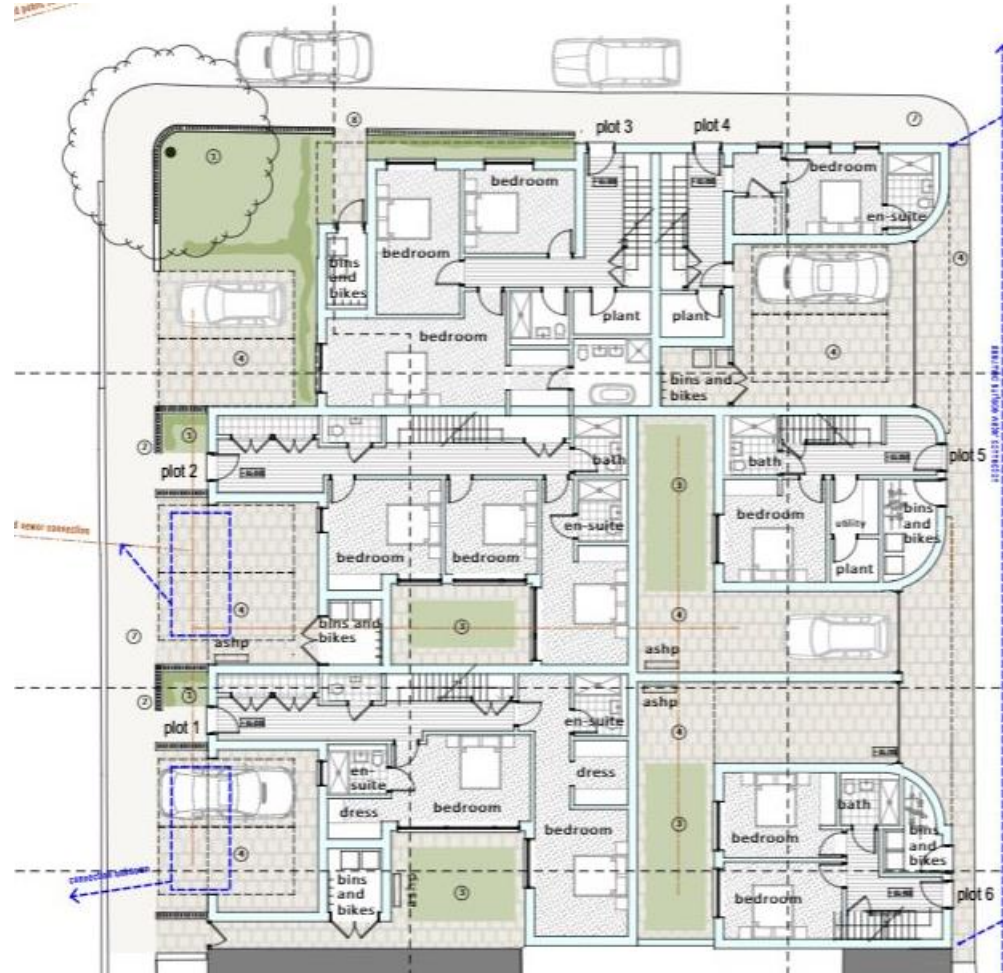
Site Layout – Existing



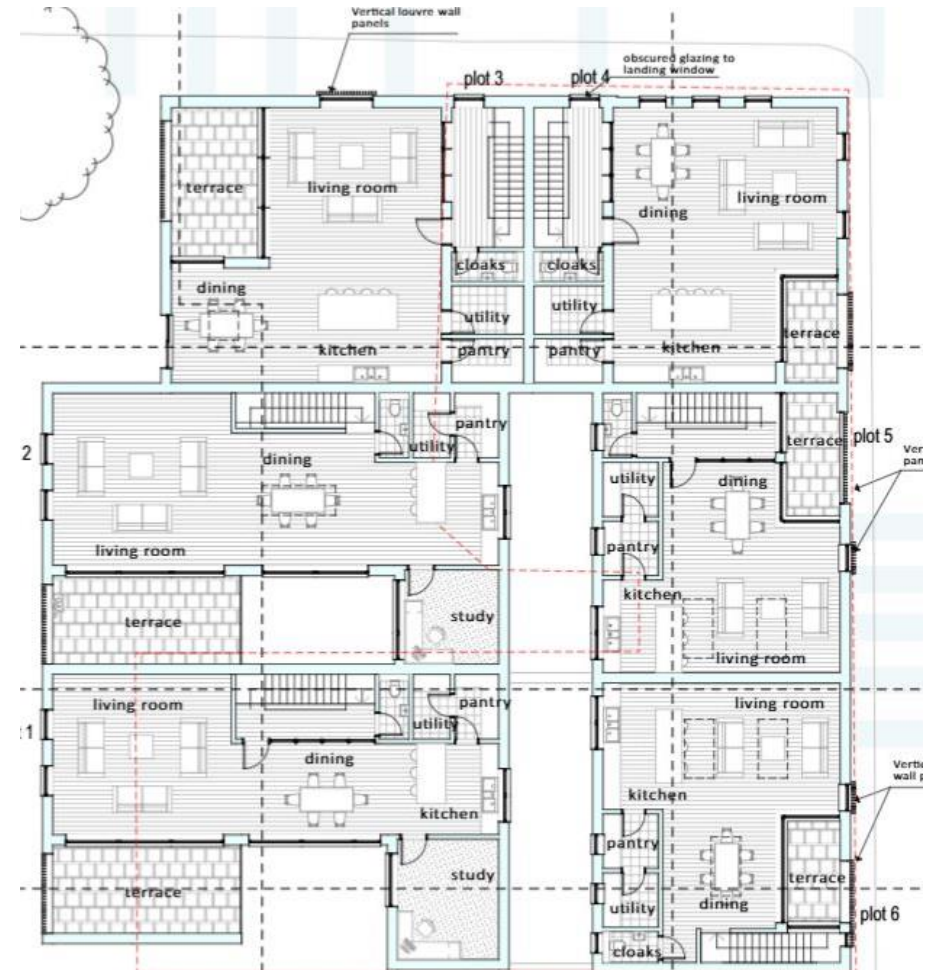
Site Layout – Proposed



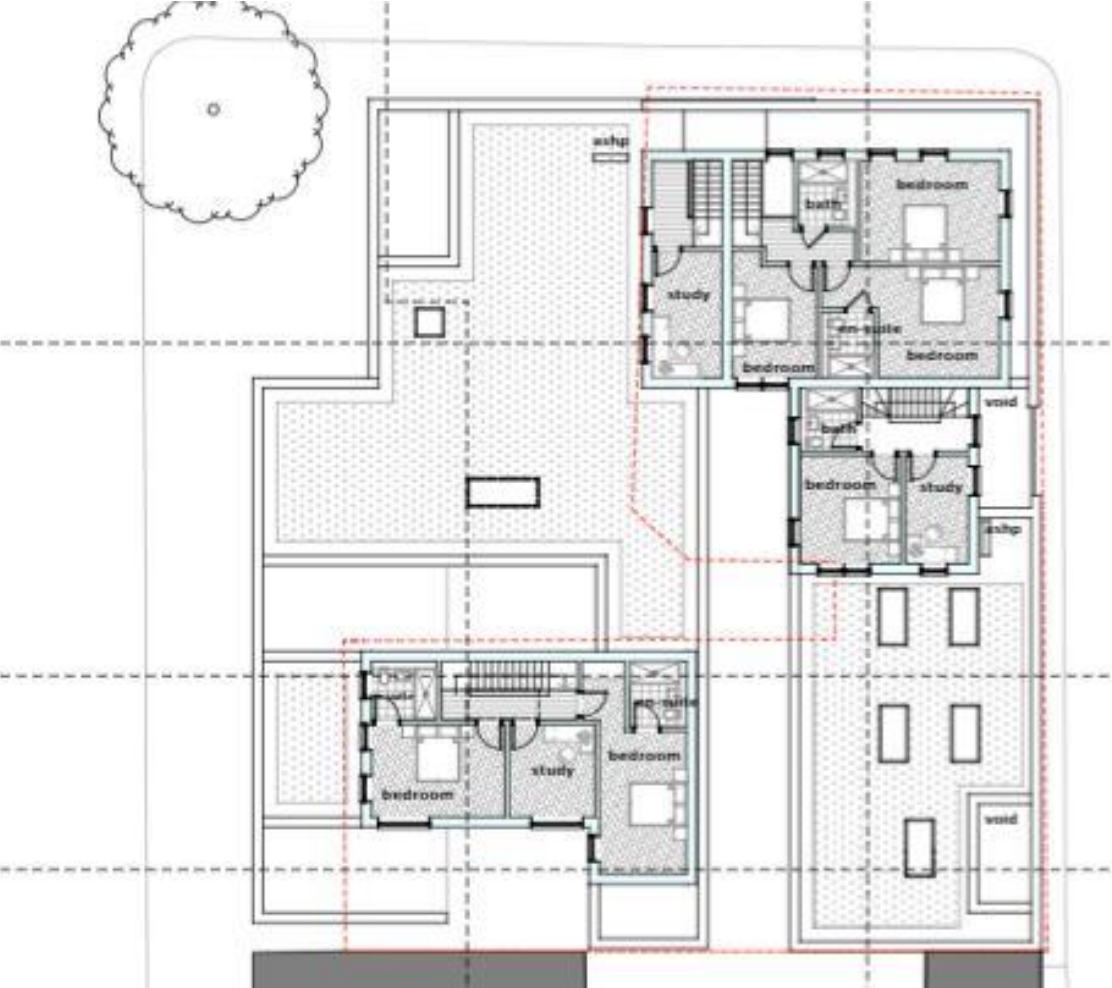
Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Lypiatt Street Elevation



proposed west elevation along lypiatt street

Proposed Tivoli Walk Elevation



proposed north elevation along tivoli walk

proposed east elevation to sadlers lane

[illegible]

Proposed CGI – view from Lypiatt Street



Proposed CGI – view from corner of Lypiatt Street and Tivoli Walk



Key Planning Matters

- Loss of employment land
- Principle
- Site layout and design
- Impact on heritage assets
- Impact on neighbouring amenity
- Flooding and drainage
- Parking and highway safety
- Climate Change and Sustainability
- Contaminated land
- Impact on trees
- Impact on Beechwoods SAC
- Biodiversity Net Gain and Ecology

Summary of recommendation:

- The Council cannot currently demonstrate a 5-year housing land supply, as such there is a presumption in favour of development.
- The main benefits of the scheme are the contribution of 6 dwellings to Cheltenham's housing stock and the redevelopment of the site, removing the existing poor quality buildings.
- The site layout, scale, form and design of the development is considered to be acceptable.
- The application is also considered to be acceptable in terms of impact on neighbouring amenity, Impact on heritage assets, BNG, ecology, impact on trees, drainage, access and highway safety.
- Harm to the conservation area has not been identified and therefore a 'strong reason' for refusal is not identified, meaning the proposal complies with para 11 d) i) of the NPPF.
- Any adverse impacts of the proposed scheme would not significantly and demonstrably outweigh the benefits of the scheme; the proposal also complies with NPPF para 11 d) ii) and as such, the tilted balance in favour of development is applied.

Recommendation: Given the above, officer recommendation is to permit the application subject to conditions and a S.106 to secure SAC mitigation.

Recommended conditions:

- Time
- Approved plans
- Drainage Scheme
- Details of landscaping scheme
- Materials
- Provision of bin and bike storage
- Works in accordance with the Preliminary Ecology Appraisal
- Biodiversity Enhancement Scheme
- Submission of external lighting details
- Access implantation
- Existing access to be closed
- Submission of a Construction Management Plan
- Parking areas to be bound material
- Parking facilities to be provided and retained
- Construction hours
- Contaminated land survey
- Demolition Plan
- Details of piling method (if required)
- Compliance with arboricultural plan
- Tree protection measures
- Restricted use of flat roof areas
- Removal of permitted development rights
- Installation of sustainability features

S:106 – Beechwoods SAC mitigation

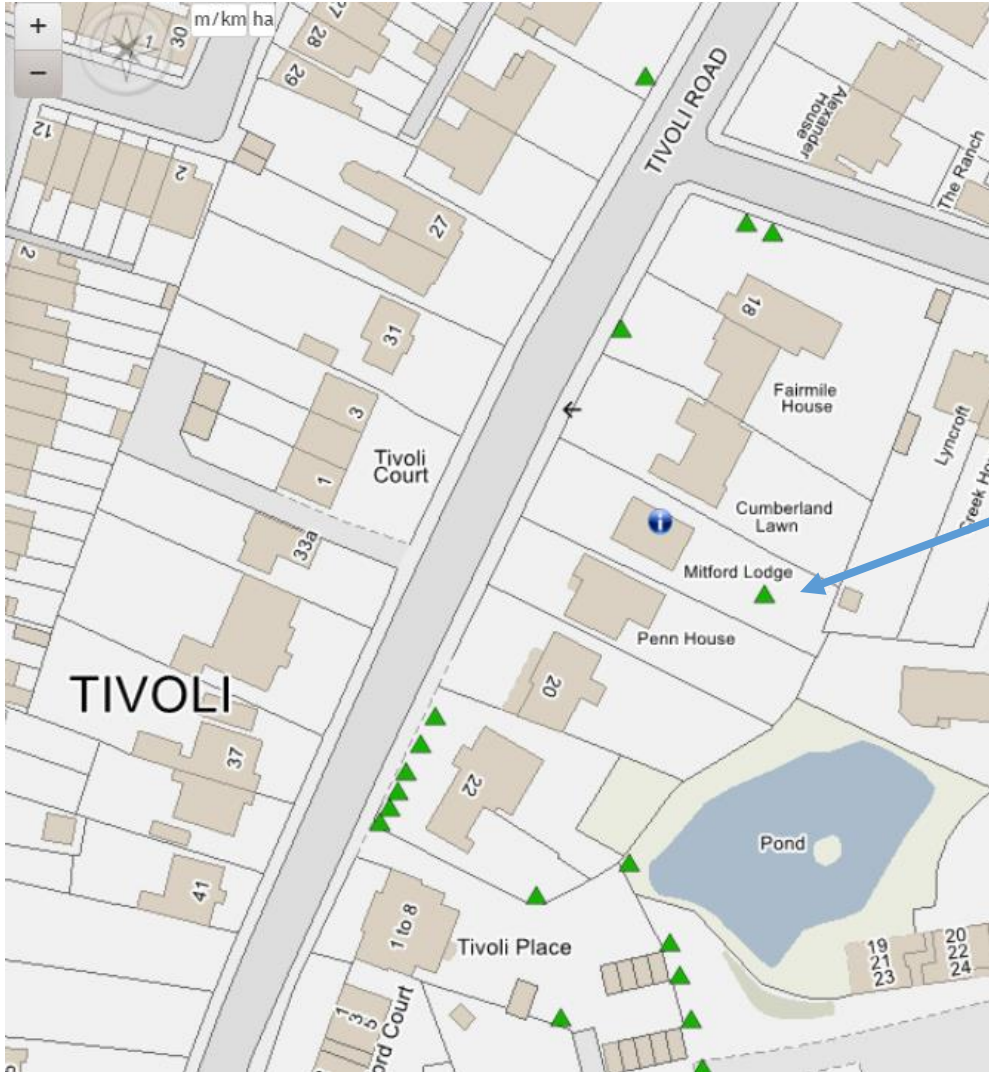
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25-00828-TREEPO

Mitford Lodge, Tivoli Road

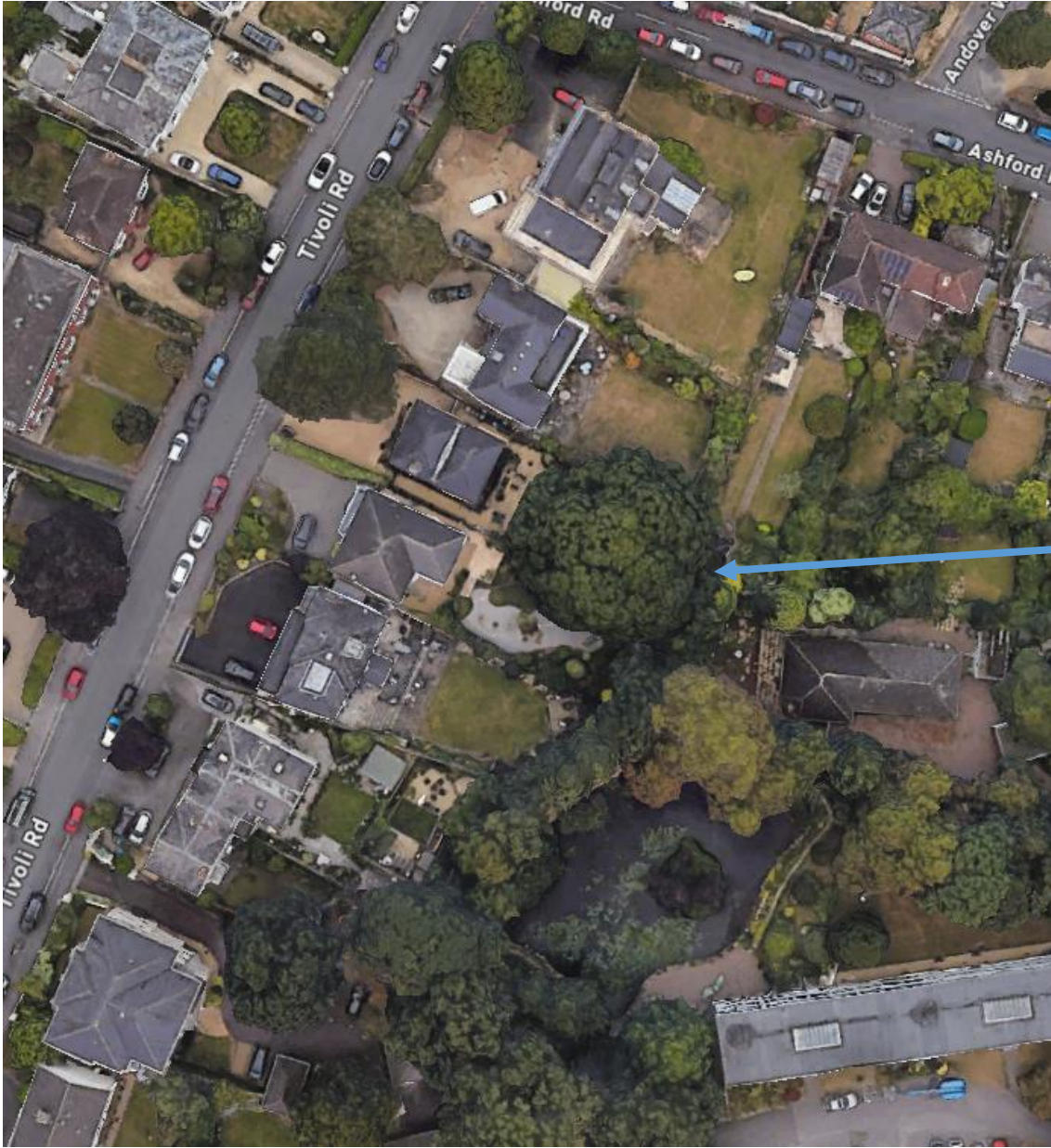
TPO to protect one holm oak tree to the rear of Mitford Lodge, Tivoli Road

Having received an objection to the provisional TPO from the tree's owner, the application is at planning committee to determine whether to confirm the TPO



Site plan

Oak tree is sited to rear of property



Aerial view of oak



View of tree from northwest in 2023



View of tree from northeast in 2025

Note that tree was reduced by several metres following a tree works notice in 2023.

Recent works to the tree have reduced it in size, lessening its shading impact but have encouraged epicormic growth between 2 and 4m up the stems.

Reason for TPO

- Inappropriate tree works proposed in works notice 25/00924/CACN – removal of all but one stem of the tree
 - TOs consider that this would've been inappropriate because:
 - Not in keeping with BS3998 (2010)
 - Enormous loss of visual amenity
 - Deleterious loss of photosynthetic capacity (weakens tree's own life-supporting processes)
 - Very large wound sites become potential pathways for fungal, bacterial ingress
 - Mature trees much less able to cope with such heavy treatment
- Tree of high value (one of the older holm oaks in the borough, has good form, appears in good condition, has long life expectancy ahead of it, visible from the road despite being in a back garden, heritage asset to the property)
- Despite communicating to the agent that persistence in pursuing the work spec in 25/00924/CACN would lead to a TPO being served (this being the only way an LPA can 'refuse' a Conservation Area tree works notice), the applicant decided to pursue this work spec

Policy

Policy GI2 of the Cheltenham Plan states:

...

For protected trees (Note 2), the Council will require:

...

b) pruning, where it is necessary, to be undertaken so as to minimise harm to the health or general appearance of a tree and to be in conformity with British Standard for Tree Work (BS3998, 2010).

Objection

Site notices were put up on Tivoli Road and copies of the TPO were sent to the owner, immediate neighbours and ward councillors.

The owner objected to the TPO on the grounds that since the TPO was served, they had decided to withdraw their works proposal (25/00924/CACN) and had a new work spec prepared with an alternative contractor.

This reasoning was echoed by the neighbour at Cumberland Lawn.

The neighbour at Penn house replied to highlight:

- the size and dominating nature of the tree
- how the tree blocks light
- a safety concern around a limb overhanging their garden

Their reply went on to support the proposal 25/00924/CACN, saying this would not harm the tree and would make it safer and improve its amenity value.

Addressing the objection

- A TPO is the only legal tool that the LPA has to resist tree works proposals in (and indeed outside of) a Conservation Area. Once a TPO has been served, applications for works can be refused if the LPA considers them to be inappropriate in the protection of the amenity value of trees.
- The applicant indicates that their approach to the tree has changed and this is welcomed by the Trees Section. However, it was only when a TPO was served that their approach changed. To not confirm the provisional TPO would mean relinquishing a level of control over the tree when the TPO is no longer enforceable on 18/1/26.
- The TPO affords legal protection and emphasises the Council's position that the tree is high value and should be treated with due consideration. It is likely that the tree predates Mitford Lodge (built around 2004-05) by many decades (probably centuries). It is also important for wildlife – during a site visit in 2023, two short-eared owls were spotted in the canopy – these birds are categorised as Amber Conservation status.

Recommendation – confirm TPO

The TPO is justified:

- The tree is high value with a long safe useful life expectancy. It appears to be in good condition and has good form. The threat to the tree is clearly established – inappropriate pruning works proposed by the owner. Despite recommendations from the TO to change 25/00924/CACN to minor works (removal of epicormic growth), and advice from their own arborist, the applicant pursued their own work specification.
- In a Conservation Area, an LPA cannot refuse works, only serve a TPO to resist works proposals. The TPO was the only reason for the applicant changing their approach to the tree.
- It has moderate public visibility and is very significant in terms of its heritage and wildlife value.
- TPO affords greater control to the LPA.
- Local and national policy support the retention of this high value tree and control over its management.

Therefore, the Officer's recommendation is to confirm the TPO.